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ADD DMP Record 6/14/2007 09:44:14 AM  
 BEAUFORT COUNTY TAX MAP REFERENCE

Dist	Map	SMap	Parcel	Block	Week
R510	009	000	0004	1026	00

BEAUFORT COUNTY SC - ROD  
 BK 02573 PGS 0051-0079  
 FILE NUM 2007039994  
 05/23/2007 02:05:53 PM  
 REC'D BY C SEABROOK RCPT# 490488  
 RECORDING FEES 35.00

STATE OF SOUTH CAROLINA ) AMENDMENT TO MASTER DEED  
 ) THE LEGENDS HORIZONTAL PROPERTY REGIME  
 BEAUFORT COUNTY ) PHASE 2

**THIS AMENDMENT** ("Amendment") is executed by **THE LEGENDS, LLC**, a South Carolina limited liability company with offices at 226 North Duvall Street, Tallahassee, Florida, 32301 ("Declarant") effective May 13<sup>th</sup>, 2007.

**WHEREAS**, The Legends Horizontal Property Regime ("Regime") was created by Master Deed recorded May 10, 2005 in the Beaufort County Register of Deeds Office in Official Record Book 2146 at Page 91, et. seq. ("Master Deed"); and

**WHEREAS**, Section 9 of the Master Deed provided that the Declarant could construct Phase 2 consisting of up to sixteen (16) individual Villas ("Phase 2"); and

**WHEREAS**, Section 10.1 of the Master Deed provided that the Declarant may unilaterally amend the Master Deed to subject the Phase 2 to the provisions of the Master Deed and the Act so as to make Phase 2 an integral part of the Regime; and

**WHEREAS**, the Declarant has completed the Phase 2 and is recording this Amendment to reflect the incorporation of the Phase 2 into the Regime and to assign Limited Common Elements to Villas as more particularly described below:

1. **INCORPORATION OF MASTER DEED.** The provisions of the Master Deed are incorporated herein in this Amendment as if repeated verbatim. All capitalized terms not defined in this Amendment shall have the meanings defined in the Master Deed. In the event of any conflict in the terms of the Master Deed and the terms of this Amendment, the terms of this Amendment shall control and prevail.
2. **EXERCISE BY DECLARANT.** Declarant hereby exercises its rights hereinabove referred to and more particularly set forth in Section 9 of the Master Deed of the Regime to amend the Master Deed to include the Future Phase Property, known as Phase 2, and more particularly described in Exhibit "A" to the Master Deed. Effective upon the filing of this Amendment, all property in the Regime shall be as described in Exhibit "A" and Exhibit "A" attached hereto, which description includes Phase 1 and Phase 2.
3. **SUBMISSION TO ACT.** Declarant does, by executing this Amendment to Master Deed, submit the Phase 2, together with the building and improvements erected thereon, and all easements, rights and appurtenances belonging thereto, to the provisions of the Master Deed and the provisions of the Horizontal Property Act of the State of South Carolina (the "Act"). Phase 2 shall be a part of the Regime governed by the provisions of the Master Deed and the Act.
4. **PLANS FOR BUILDING AND IMPROVEMENTS.** The building and improvements constructed on and forming a part of Phase 2 are constructed in accordance with the floor plans and elevations comprising Exhibit "B" attached hereto, which floor plans and elevations are incorporated by

reference herein. Said floor plans and elevations are certified by architect Michael Kronimus of KRA, Inc. Attached to this Amendment as Exhibit "C" is a certificate by architect Michael Kronimus of KRA, Inc., who is licensed to practice in the State of South Carolina, certifying that the Phase 2 improvements added to the Regime by this Amendment was constructed in accordance with said floor plans and specifications.

5. **VILLAS OF PHASE 2 PROPERTY.** Phase 2 which is being added to and combined with the Regime includes sixteen (16) Villas ("Villas"), which are to be used for residential purposes. Below are the Villa numbers, mailing addresses, and square footage of each Villa:

<b><u>Villa Number on Plans</u></b>	<b><u>Mailing Address</u></b>	<b><u>Approximate Sq. Ft.</u></b>
711	112 Union Cemetery Road, Unit 711 Hilton Head Island, SC 29926	646
712	112 Union Cemetery Road, Unit 712 Hilton Head Island, SC 29926	646
713	112 Union Cemetery Road, Unit 713 Hilton Head Island, SC 29926	646
714	112 Union Cemetery Road, Unit 714 Hilton Head Island, SC 29926	646
715	112 Union Cemetery Road, Unit 715 Hilton Head Island, SC 29926	646
716	112 Union Cemetery Road, Unit 716 Hilton Head Island, SC 29926	646
717	112 Union Cemetery Road, Unit 717 Hilton Head Island, SC 29926	646
718	112 Union Cemetery Road, Unit 718 Hilton Head Island, SC 29926	646
721	112 Union Cemetery Road, Unit 721 Hilton Head Island, SC 29926	646
722	112 Union Cemetery Road, Unit 722 Hilton Head Island, SC 29926	646
723	112 Union Cemetery Road, Unit 723 Hilton Head Island, SC 29926	646
724	112 Union Cemetery Road, Unit 724 Hilton Head Island, SC 29926	646
725	112 Union Cemetery Road, Unit 725 Hilton Head Island, SC 29926	646
726	112 Union Cemetery Road, Unit 726 Hilton Head Island, SC 29926	646

727	112 Union Cemetery Road, Unit 727 Hilton Head Island, SC 29926	646
728	112 Union Cemetery Road, Unit 728 Hilton Head Island, SC 29926	646

Each Villa is capable of individual utilization, as it has its own exit to the Common Elements of the Regime, a particular and exclusive property right thereto, and also an undivided interest in the General and Limited Common Elements of the Regime, as set forth in the Master Deed, necessary for the Villa's use and enjoyment, all in accordance with the Act.

6. **LIMITED COMMON ELEMENTS.** Section 8 of the Master Deed describes private storage closets and garages which were to be assigned to each of the Villas pursuant to subsequent contractual arrangements between Declarant and Villa purchasers. The general location of the garages is depicted on the site plan drawing included with, and attached to Exhibit "B". The storage closets are located in breezeways between Villas and identified by number. The garages and storage closets have been, or shall be, assigned exclusively and perpetually to each of the below referenced Villas as follows:

<u>Garage #</u>	<u>VILLA #</u>
A	3115
B	3114
C	3126
D	3116
E	3125
F	3121
G	3111
H	3213
I	3223
J	3221
K	3313
L	3323
M	3312
3D	224
3E	411
3F	525
3G	325
3H	424

<u>Garage #</u>	<u>VILLA #</u>
N	3311
1A	121
1B	127
1C	128
1D	514
1E	613
1F	614
1G	113
1H	115
1I	126
3A	213
3B	225
3C	Regime Maintenance; Common Element
3I	421
3J	512
3K	511
3L	515

<b>STORAGE CLOSET</b>	<b>VILLA #</b>
1	712
2	713
3	528
4	715
5	313
6	413
7	714
8	711
9	716
10	717
11	513
12	525
13	613
14	514
15	718
16	721
17	722
18	723
19	614
20	115
21	113
22	113
23	724
24	725
25	213
26	126
27	726
28	727
None Assigned	728

As set forth in the Master Deed, these Limited Common Elements are reserved for the use of the applicable Villa set forth above to the exclusion of all other Villa Owners.

7. **TYPE OF VILLAS / WALK THROUGH DESCRIPTION.** There is one type of Villa in Phase 2. Each Villa in Phase 2 is a one bedroom, one bath villa containing approximately 845 square feet of heated space. Entrance to each Villa is through a door leading to a foyer with a living room to the right and a dining room to the left. Proceeding into the living room, a kitchen lies to the left through the dining room. Through the kitchen is a utility room with shelving and areas for a washer and dryer and electrical panel. Proceeding straight through the living room is a hallway with a pantry leading to the bedroom. Proceeding through the bedroom to the left is a full bathroom with sink, toilet and bathtub/shower. A walk-in closet leads into the bathroom. Also through the bedroom to the right of the entrance, sliding glass doors lead to an outside balcony area or patio, if the villa is on the first floor. A small storage area is adjacent to each balcony, or patio, as applicable. Entrance may also be made to each balcony/patio through the living room.
8. **PERCENTAGE INTEREST.** The percentage of the title and interest appurtenant to the Villas and the Co-Owner's title and interest in the Common Elements (both General and Limited) of the Regime is based upon the proportionate value of the Villas to the value of the Regime as set forth in Exhibit "D" to this Amendment which is attached hereto and made a part hereof.
9. **WARRANTIES.** The following language is taken from the Purchase Agreement form by and between Declarant and initial purchasers of Villas within the Regime. The purpose of reproducing said Section relating to warranties in this Amendment is to provide actual notice to successors-in-title to original purchasers:

At closing, Seller shall transfer to Purchaser all of Seller's right, title and interest in and to any manufacturer's warranty furnished to Seller covering any equipment or appliance installed in the Property, and Seller makes no warranty or agreement of any kind with respect to any such equipment or appliance. If written notice is given to Seller by Purchaser within thirty (30) days of discovery of any defect not caused by Purchaser, its agents, guests, or invitees, which defect relates to workmanship and/or materials, then Seller will, at no cost to the Purchaser for a period of one (1) year from the date of closing, repair, replace, the defective portion of the Property. This warranty shall not apply to fixtures and appliances covered by a warranty of a manufacturer or dealer, for which defects the Purchaser shall have such rights as are defined in the applicable warranty documents. Seller shall not be responsible for any incidental or consequential damages arising from any defect. This warranty is personal to Purchaser, and shall automatically terminate and be of no further force or effect upon Purchaser's sale, transfer or conveyance of the Property. SELLER MAKES NO WARRANTY OR REPRESENTATION, EXPRESS OR IMPLIED, AS TO THE FITNESS, DESIGN OR CONDITION OF ITEMS OF TANGIBLE PERSONAL PROPERTY OR FIXTURES, THEIR MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

10. **GENERAL AND LIMITED COMMON ELEMENTS.** The General and Limited Common Elements of the Regime are not changed by this Amendment except as set forth in Section 6 above. The General and Limited Common Elements remain as defined in the Master Deed.

11. **MISCELLANEOUS.** The purpose of this Amendment being to add the Phase 2 Property to the Regime so as to make it an integral part of the Regime and assign Limited Common Elements to particular Villas. All provisions of the Master Deed establishing the Regime as recorded in the Register of Deeds Office for Beaufort County, South Carolina, which are not modified herein are expressly incorporated into and reaffirmed by this Amendment in the same manner as if the same were expressly set forth herein. This Amendment is intended to comply with the provisions of the aforementioned Master Deed and the Act. In case any of the provisions stated above conflict with the provisions of said the Act, the provisions of the Act shall control. The provisions hereof shall be deemed independent and severable. The invalidity in whole or in part of any section, sub-section, sentence, clause, phrase or word, or other provision of this Amendment shall not affect the validity or enforceability of the remaining portions thereof. In such event, all of the other provisions of the Amendment shall continue in full force and effect as if such invalid provision had never been included therein.
12. **RATIFICATION.** Except as expressly amended by this Amendment, all terms, conditions, benefits and burdens of the Master Deed are ratified and remain in full force and effect.

18<sup>th</sup> IN WITNESS WHEREOF, the Declarant has executed this Amendment to the Master Deed this day of May, 2007.

WITNESSES:

Kristen Collins  
April M. Howard

THE LEGENDS, LLC

James Rudnick  
 By: James Rudnick  
 Its: Manager

STATE OF FLORIDA )  
 )  
 COUNTY OF LEON )

ACKNOWLEDGMENT

I, the undersigned Notary Public, do hereby certify that **James Rudnick as Manager of The Legends, LLC** personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal this 18<sup>th</sup> day of May, 2007.

Cynthia W. Hamilton (SEAL)  
 Notary Public for FLORIDA  
 My Commission Expires:



**INDEX OF EXHIBITS**  
**THE LEGENDS**  
**HORIZONTAL PROPERTY REGIME**

- |             |   |                                |
|-------------|---|--------------------------------|
| Exhibit "A" | - | Legal Description              |
| Exhibit "B" | - | Floor Plans and Elevations     |
| Exhibit "C" | - | Architect's Certificate        |
| Exhibit "D" | - | Proportionate Values of Villas |

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

**ALL** those certain pieces and parcels of land, situated, lying and being on Hilton Head Island, Beaufort County, South Carolina, being known generally as The Legends multifamily dwelling unit development being designated as Parcel "A" containing 15.61 acres, more or less, and Parcel "B" containing 3.00 acres, more or less and shown on a plat entitled "A Plat of Parcels A, B, and C, containing 22.37 acres, a section of Port Royal Plantation" dated March 12, 1985, prepared by Jerry L. Richardson, SCRLS #4784 of Coastal Surveying and Engineering Co., Inc. and recorded in the Beaufort County Register of Deeds Office in Plat Book 32 at Page 256. For a more particular description of the courses, metes, bounds and distances of said lot, reference is hereby made to said plat of record.

**SAVE AND EXCEPT**, however, the land shown and designated as "Phase I 6.67 Acre" on that plat entitled "A Plat of 15.58 Acres Phase I & Future Development" prepared by Coastal Surveying Co., Inc., and recorded in Plat Book 44 at Page 191.

**SAID PROPERTY** is the same property depicted as "Parcel B" containing 3.00 Acres, more or less, and "Parcel A" containing 8.91 Acres, more or less, as shown and depicted on those certain plats prepared by Connor & Associates, Inc., SCRLS #000152, by Matthew Michael Crawford, SCRLS #9756 dated on or about August 14, 2000 and recorded in the Beaufort County Register of Deeds Office in Plat Book 76 at Page 16.

**SAVE AND EXCEPTING THEREFROM**, all applicable matters of record, including any easements for vehicular and pedestrian access, ingress, and egress, in, over and through and across all roads and walkways on the Property and all matters depicted on any plat recorded in the Beaufort County Register of Deeds Office.

**SAID PROPERTY** all comprising The Legends Horizontal Property Regime as described in the Master Deed recorded in the Beaufort County Register of Deeds Office in Official Book 2146 at Page 91, as amended.

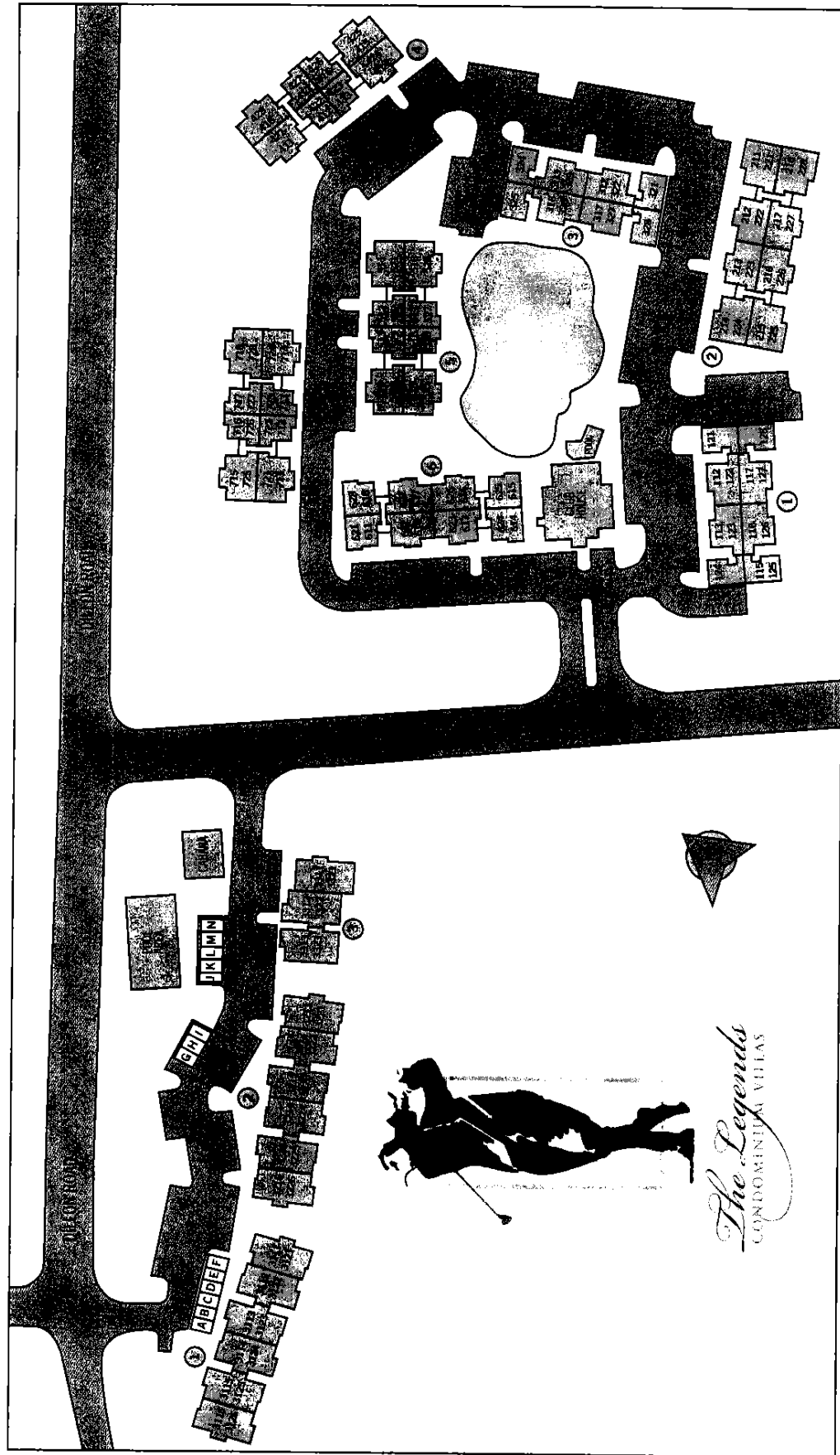
**FURTHER**, the Property submitted to The Legends Horizontal Property Regime is subject to all easements shown on the above-described plat of record and to all applicable matters reflected in the Beaufort County Register of Deeds Office.



**EXHIBIT "B"**

Those certain architectural and engineering diagrams prepared by licensed architects KRA, Inc. attached hereto entitled "The Legends on the Green", Sheets C-00, AS-1.0, A-1.0 through A-3.1, inclusive, S1-0, M1.0, E-1.0, and E-1.1.

APPROXIMATE LOCATIONS OF VILLAS

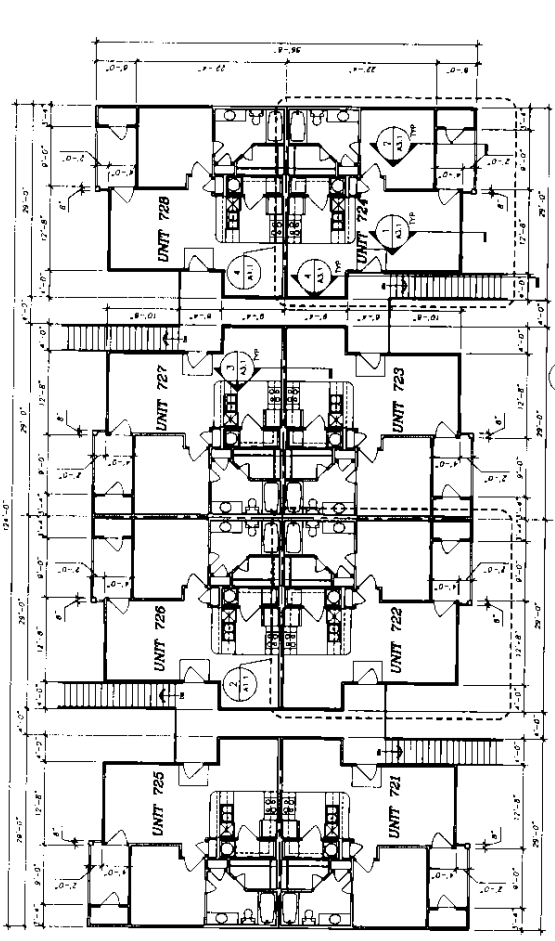




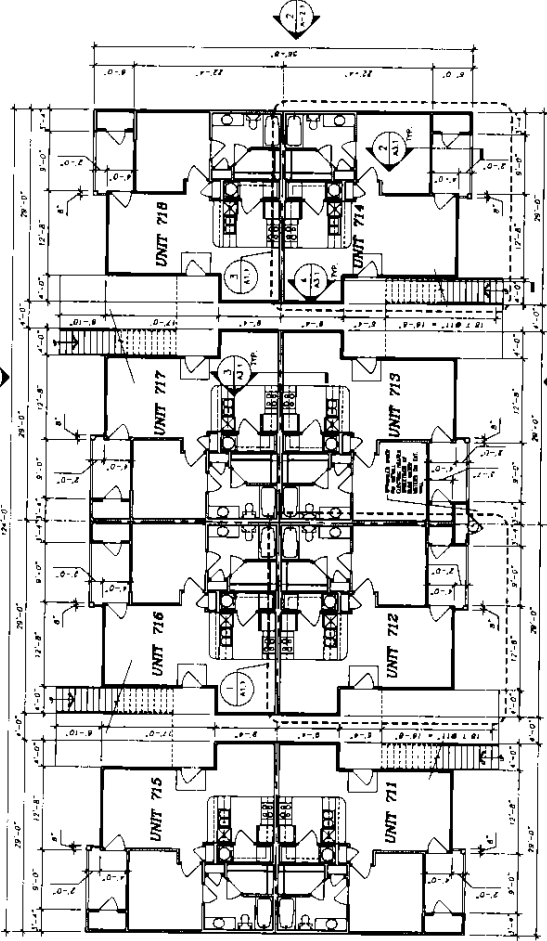


**FLOOR PLAN KEY NOTES:**

1. SEE CO-MEMO FOR GENERAL NOTES AND SPEC. DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL ALL COMMENTS FROM THE ARCHITECT, ENGINEER, AND ALL AFFECTING AGENCIES (PERMITS, FIRE DEPARTMENT AND REVISED) ARE APPROVED THERE.
2. DIMENSIONS ON FLOOR PLANS ARE SHOWN TO CENTER UNLESS NOTED OTHERWISE.
3. "NOISE BARRIER" IS TO BE INSTALLED AT ALL WALL LOCATIONS SEPARATING CONDITIONED SPACES.
4. PROVIDE FREE CLEAR STOPS IN ALL WALLS GREATER THAN 8" IN HEIGHT.
5. 7/8" WOOD STUDS AT 16" O.C. FOR EXTERIOR WALLS TYPICAL UNITS.
6. 2x4 WOOD STUDS AT 16" O.C. FOR INTERIOR WALLS TYPICAL UNITS.



BUILDING SECOND FLOOR PLAN



BUILDING FIRST FLOOR PLAN

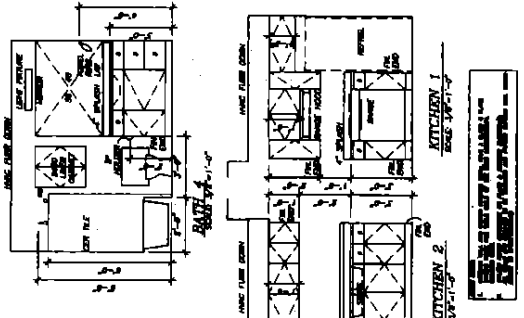
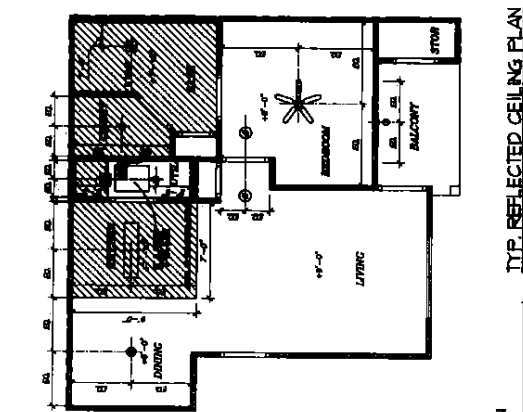
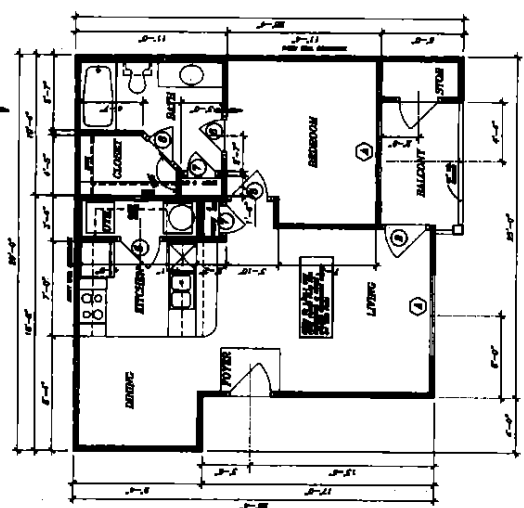
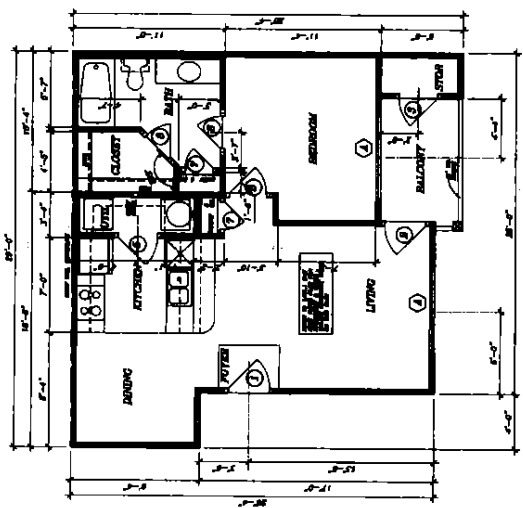
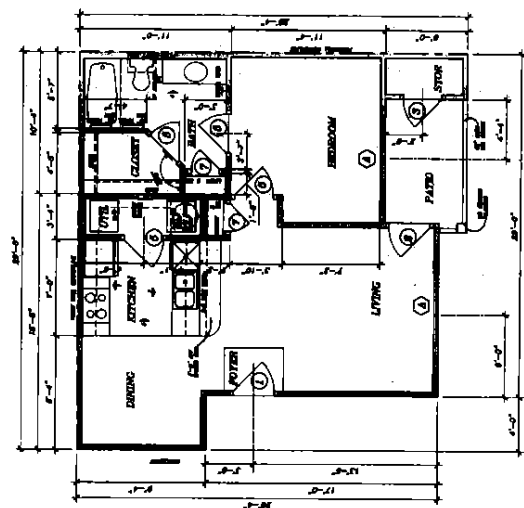
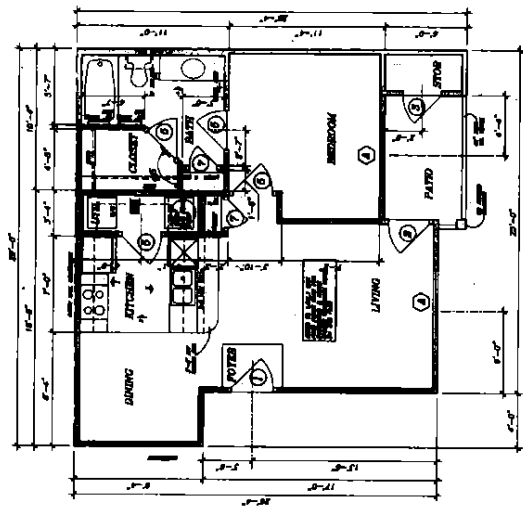
Floor Plan SCALE: 1/8" = 1'-0"

A-1.0

The Legends on the Green  
Hilton Head Island, SC 29926

**KRA INC.**  
ARCHITECTURE, PLANNING AND ENGINEERING  
Belair Towne Village  
18 Oak Forest Road, Bluffton SC 29910  
K43713-2021 Fax K43713-2022  
E-Mail: info@kra.com

DATE OF CONSTRUCTION: 02.01.08

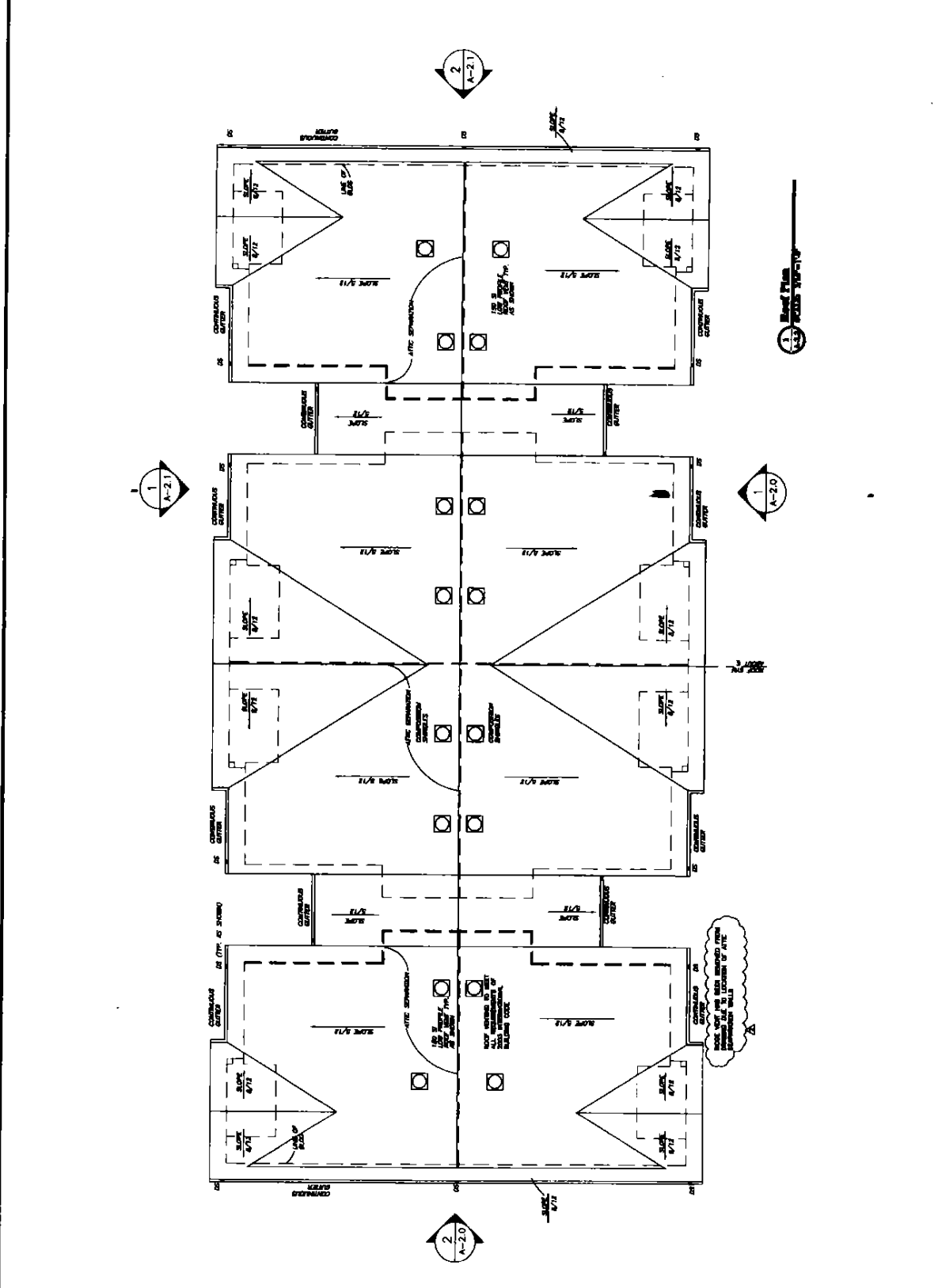


**FLOOR PLAN KEY NOTES:**

1. SEE GENERAL NOTES, TERMS AND CONDITIONS FOR ALL WORK. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.
2. PROVIDE ALL WORK TO BE DONE BY THE CONTRACTOR TO BE SHOWN ON THE DRAWINGS AND SPECIFICATIONS.
3. PROVIDE ALL WORK TO BE DONE BY THE CONTRACTOR TO BE SHOWN ON THE DRAWINGS AND SPECIFICATIONS.
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6. PROVIDE ALL WORK TO BE DONE BY THE CONTRACTOR TO BE SHOWN ON THE DRAWINGS AND SPECIFICATIONS.

APPROVED FOR CONSTRUCTION

APPROVED FOR CONSTRUCTION



**EXTERIOR FINISH CHART**

WALLS	CL-05	WOOD SHAKES	WOOD SHAKES
ROOF	CL-06	WOOD SHAKES	WOOD SHAKES
CEILING	CL-07	WOOD SHAKES	WOOD SHAKES
FLOORING	CL-08	WOOD SHAKES	WOOD SHAKES
PAINT	CL-09	WOOD SHAKES	WOOD SHAKES
TRIM	CL-10	WOOD SHAKES	WOOD SHAKES
SCREENS	CL-11	WOOD SHAKES	WOOD SHAKES
SCREENS	CL-12	WOOD SHAKES	WOOD SHAKES
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SCREENS	CL-99	WOOD SHAKES	WOOD SHAKES
SCREENS	CL-100	WOOD SHAKES	WOOD SHAKES

APPROVED FOR CONSTRUCTION

Left Side Elevation

**1** Front Elevation

**2** Left Side Elevation

**KRA INC.**  
ARCHITECTURE, PLANNING AND ENGINEERING  
Public Towns Village  
18 Oak Forest Road, Hickory, NC 28601  
434-715-2021 Fax 434-715-2022  
Email: info@kra.com

**The Legends**  
on the Green  
Hickory Road, Hickory, NC 28626

FRONT & LEFT SIDE ELEVATIONS

**A-2.0**





**KRA INC.**  
ARCHITECTURE, PLANNING AND ENGINEERING  
Public Towne Village  
18 Oak Power Road, Bluffton, SC 29910  
843/813-2021 Fax: 843/813-2022  
E-Mail: info@kra.com

**The Legends**  
on the Green  
Bluffton Head Island, SC 29916

DETAILS  
SCHEDULES  
**A-3.0**

**APPROVED FOR CONSTRUCTION**  
Typical Slab Details  
REVISED 12/17/19

**1 DRYER VENT DUCT - RAISED WALL**

**2 TYPICAL BATH/LAUN DUCT PENETRATION**

**3 TYPICAL TUB DETAIL AT PARTY WALL**

**4 Typical Window Head Detail**

**5 Window Sill Detail**

**6 WATER HEATER SHELF PLAN VIEWS WATER HEATER SHELF SECTION**

**7 WINDOW FLASHING DETAIL**

**8 REINFORCING DETAILS**

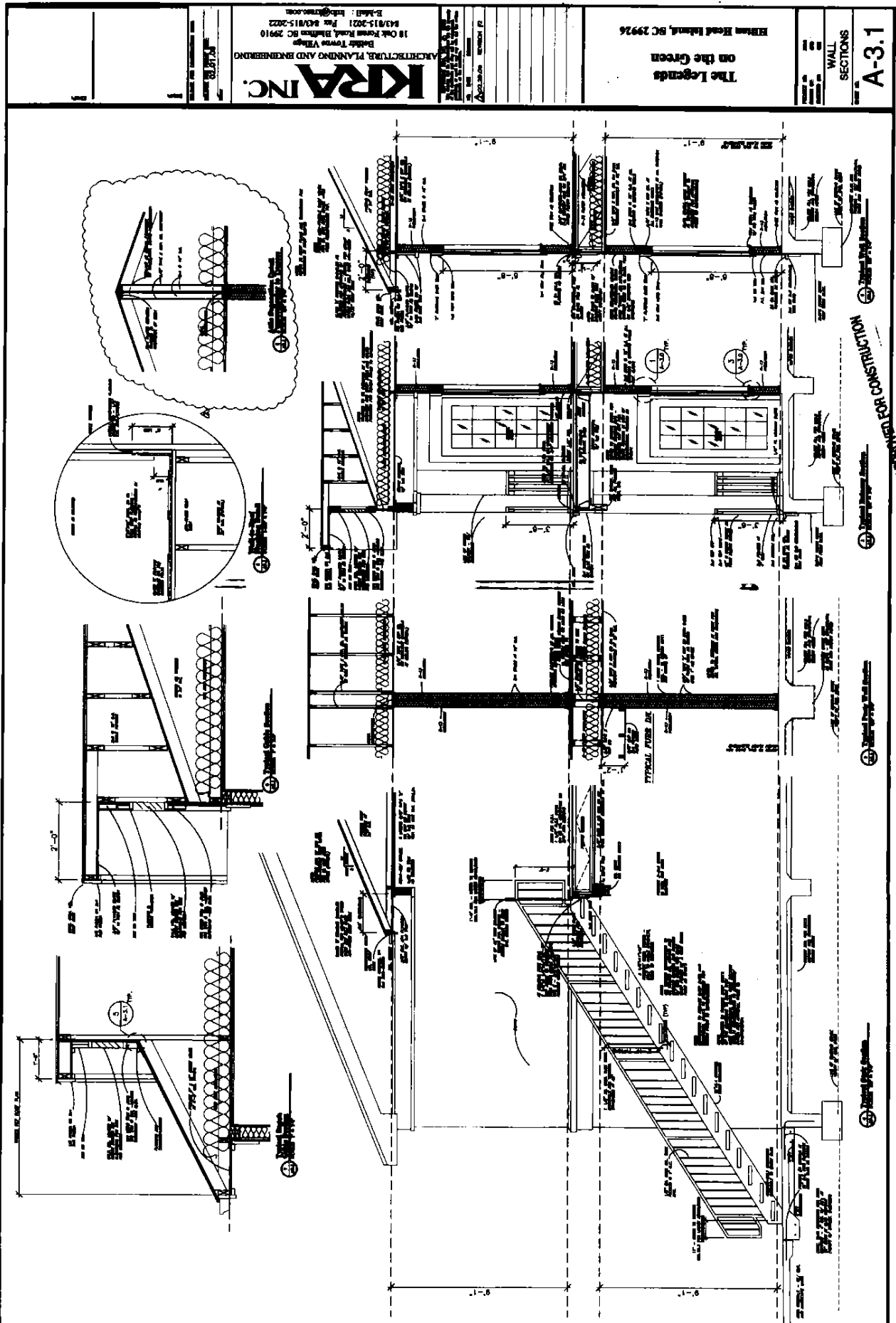
**9 GLO. ROD MTS. HTS.**

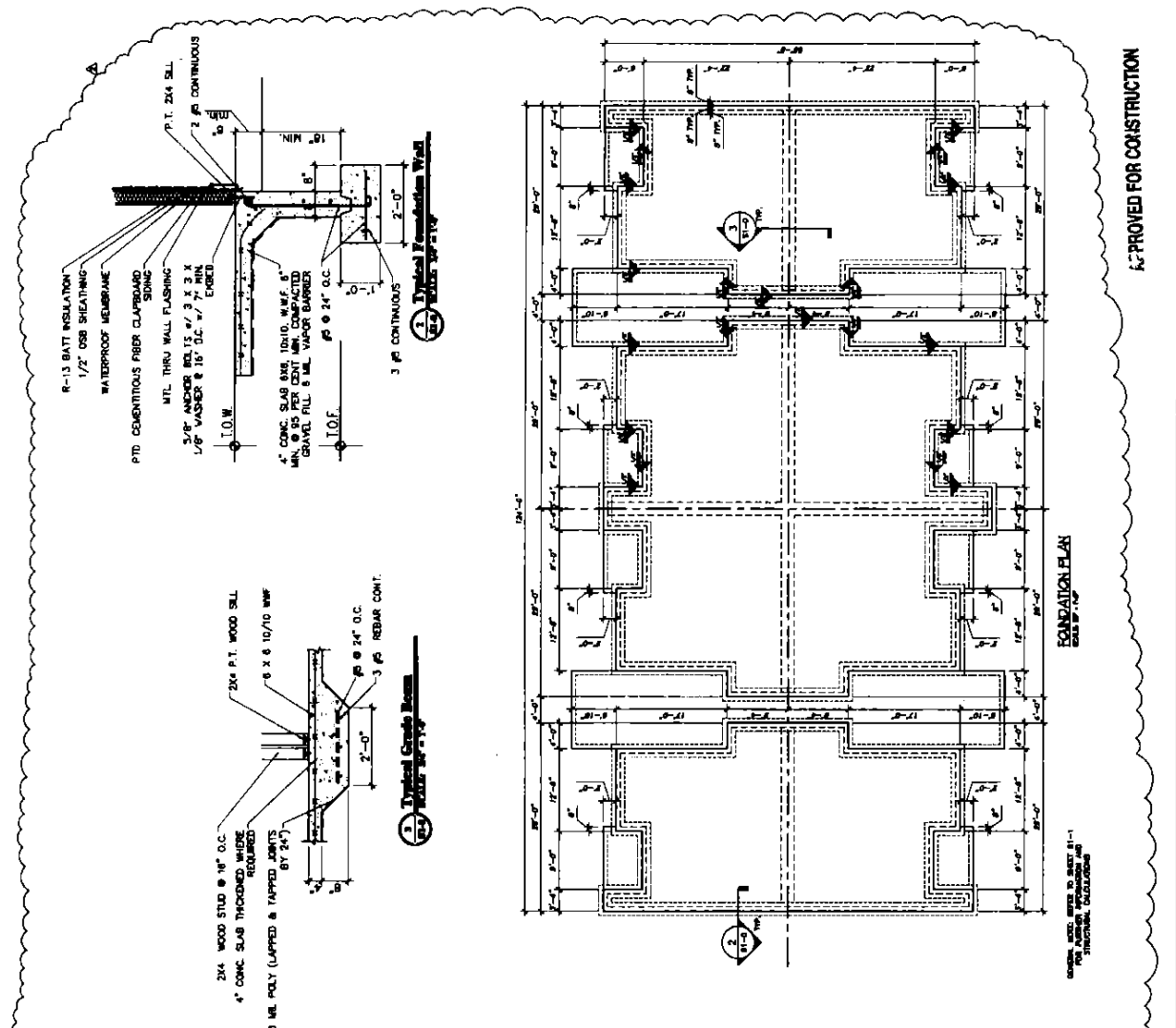
**UNIT NOTES**

1. ALL UNITS TO BE INSTALLED ON A CONCRETE SLAB ON GRADE.
2. ALL UNITS TO BE INSTALLED ON A CONCRETE SLAB ON GRADE.
3. ALL UNITS TO BE INSTALLED ON A CONCRETE SLAB ON GRADE.
4. ALL UNITS TO BE INSTALLED ON A CONCRETE SLAB ON GRADE.
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8. ALL UNITS TO BE INSTALLED ON A CONCRETE SLAB ON GRADE.
9. ALL UNITS TO BE INSTALLED ON A CONCRETE SLAB ON GRADE.

**REINFORCING DETAILS**

REINFORCING DETAILS FOR CONSTRUCTION





**GENERAL CONSTRUCTION NOTES:**

- ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES, ORDINANCES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK. REFER TO THESE DOCUMENTS FOR ALL REQUIREMENTS.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSURANCE.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS FOR ALL WORK AS DIRECTED BY GENERAL INSTRUCTIONS OF SUBMITTAL COMPONENTS SHALL BE FIELD WITH ALL TRADES INVOLVED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, QUANTITIES AND LOCATIONS OF EXISTING FEATURES AND UTILITIES PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD BUILDING CODE, 2004, IBC, ASH AND IRC CODES AND REGULATIONS AND ALL APPLICABLE STANDARDS.
- GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND VENDOR SUBMITTALS FOR COORDINATION OF EQUIPMENT IN 40/20 BIDDING SLAB.

**SUBGRADE PREPARATION NOTES:**

- REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATION RESULTS AND SOIL PENETRATION REQUIREMENTS.
- PROVIDE TO CONSTRUCTION ALL BUILDING AREA PLUS APPROX. 5 FEET ON EACH SIDE, SHOULD BE STREPPED OF ALL VEGETATION, TOP SOIL, ROOT SYSTEMS, ANY EXISTING FOUNDATION, FENCED OR UNFENCED AREA AND TO FACILITATE THE STAKE UNDER RUN-OFF.
- EXISTING FOUNDATION SHALL BE EXPOSED TO VERIFY THE FOUNDATION AND UTILITIES ARE IN PLACE. EXISTING FOUNDATION SHALL BE EXPOSED BY CONTRACTOR AND APPROVED BY ARCHITECT/ENGINEER.
- ANY UTILITIES THAT LOCATE THE SITE SHOULD BE RELOCATED AND THE TRENCHES BACKFILLED WITH APPROVED SUBGRADE MATERIAL. SOIL THE MATERIAL SHOULD BE PLACED IN SIX INCHES THICK LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH 2004-2008 IBC.
- THE EXPOSED SUBGRADE UNDER FOUNDATIONS AND SLABS WILL BE THIS LIFTED AND COMPACTED.
- ALL OF THE EXPOSED SUBGRADE SHOULD BE COVERED WITH APPROVED FILL OR A MINIMUM THICKNESS OF 12 INCHES WITH JACO 10-100 FOR A MINIMUM DEPTH OF 12 INCHES BELOW BOTTOM OF THE FOUNDATION AND SLAB.
- THE COMBINATION OF THE EXPOSED SUBGRADE AND THE EXISTING FOUNDATION SHALL BE RELOCATED TO REVERSE THE COMBINATION TO BE SUITABLE FOR CONSTRUCTION. ALL EXISTING FOUNDATION SHALL BE RELOCATED TO BE SUITABLE FOR CONSTRUCTION. ALL EXISTING FOUNDATION SHALL BE RELOCATED TO BE SUITABLE FOR CONSTRUCTION. ALL EXISTING FOUNDATION SHALL BE RELOCATED TO BE SUITABLE FOR CONSTRUCTION.
- THE EXISTING FOUNDATION SHALL BE RELOCATED TO BE SUITABLE FOR CONSTRUCTION. ALL EXISTING FOUNDATION SHALL BE RELOCATED TO BE SUITABLE FOR CONSTRUCTION. ALL EXISTING FOUNDATION SHALL BE RELOCATED TO BE SUITABLE FOR CONSTRUCTION.

**CAST IN PLACE CONCRETE, FOUNDATIONS AND FLOOR SLAB NOTES:**

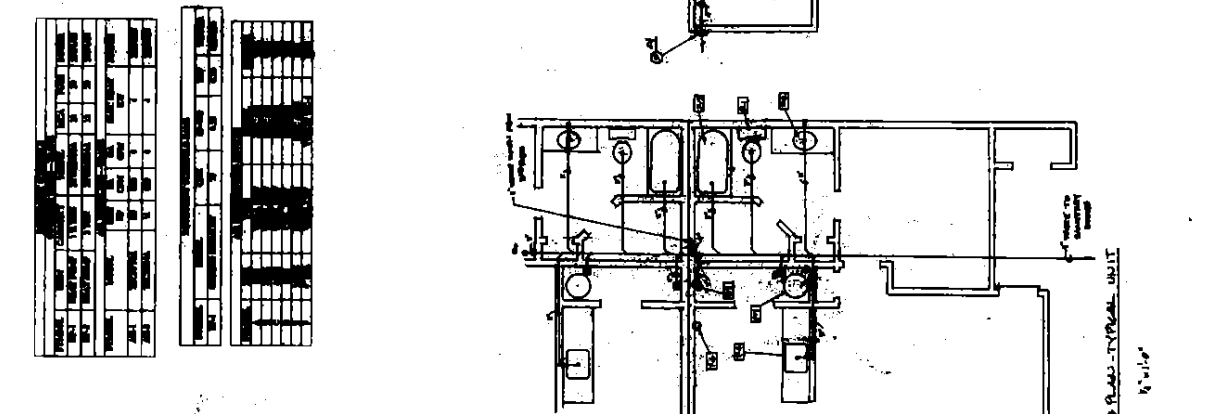
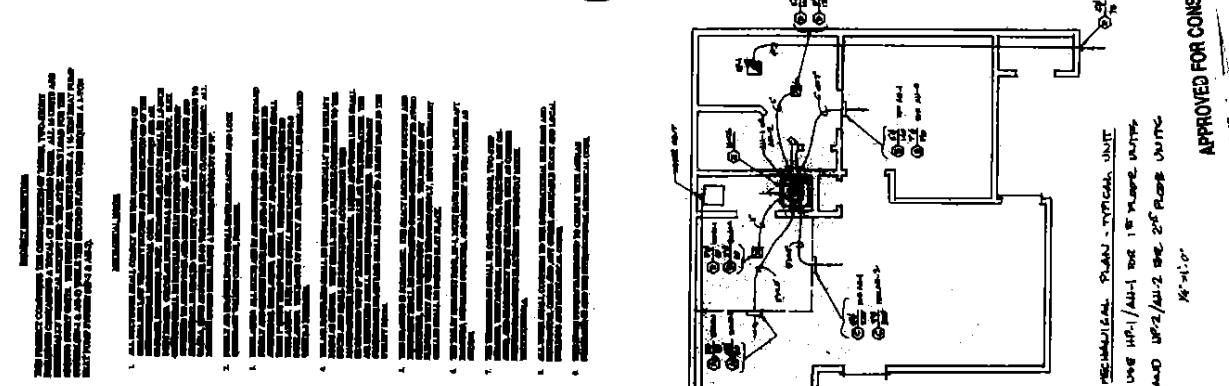
- CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, UNLESS NOTED OTHERWISE.
- FORMS AND PLACING OF CONCRETE SHALL BE PROVIDED WITH CONSIDERATION TO WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION. FOR COLD WEATHER IN ACCORDANCE WITH AC 308, FOR HOT WEATHER IN ACCORDANCE WITH AC 309.
- CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE APPROVED REFINISHING PROCEDURE AND SHALL BE FINISHED WITHIN ONE YEAR OF CONSTRUCTION.
- WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCOMPLETE OR OTHERWISE POOR QUALITY OF CONCRETE OR CONSTRUCTION.
- CONCRETE FINISHES SHALL BE SELECTED TO ACCOMMODATE FINISH COORDINATION WITH OTHER FINISHES. FINISHES SHALL BE PROVIDED FOR EXPOSED INTERIOR SURFACES. FINISHES SHALL BE PROVIDED FOR EXPOSED INTERIOR SURFACES.
- ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED REFINISHING PROCEDURE. FINISHES SHALL BE PROVIDED FOR EXPOSED INTERIOR SURFACES.
- GENERAL CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.
- UNLESS OTHERWISE NOTED, ALL REINFORCING STEEL SHALL BE DEFENDED BARS, CONFORMING TO ASTM A615, GRADE 60.
- IN THE EVENT OF WEATHER, SCHEDULED WORK SHALL BE DEFERRED. REINFORCING STEEL SHALL BE COVERED WITH PLASTIC OR OTHER PROTECTIVE MEASURES TO PREVENT CORROSION. REINFORCING STEEL SHALL BE COVERED WITH PLASTIC OR OTHER PROTECTIVE MEASURES TO PREVENT CORROSION.
- ALL REINFORCING STEEL SHALL BE CLASS C TENSION LAP SPACERS, UNLESS OTHERWISE SHOWN. PROVIDE STD. CORNER BARS AT ALL CORNERS.
- FORMS SHALL BE 7" OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY AGAINST GRADE.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A181.
- ALL SLAB AND FOUNDATION REINFORCING SHALL BE 180 IN PLACE FROM TO PLACING CONCRETE.
- REINFORCING SHALL BE INSTALLED WITH TYPICAL STANDARD CHAIRS.
- REINFORCING SHALL BE INSTALLED AS SHOWN IN DETAILS. PROVIDE RE-BARS AS REQUIRED TO SUIT SPECIAL CONDITIONS.
- REINFORCING SHALL BE INSTALLED AS SHOWN IN DETAILS. PROVIDE RE-BARS AS REQUIRED TO SUIT SPECIAL CONDITIONS.
- REINFORCING SHALL BE INSTALLED AS SHOWN IN DETAILS. PROVIDE RE-BARS AS REQUIRED TO SUIT SPECIAL CONDITIONS.

**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

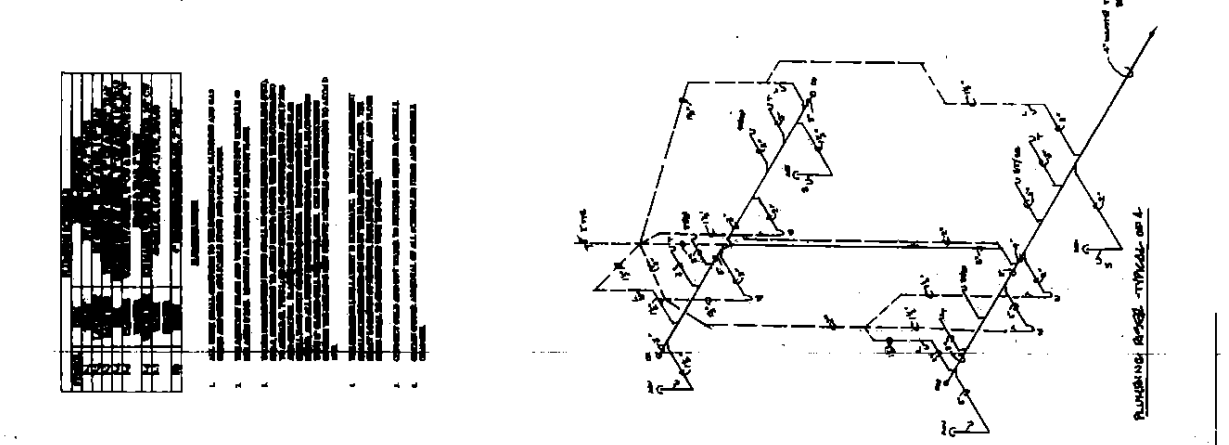
**FOR CONSTRUCTION**



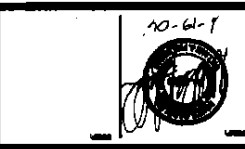
ARCHITECTURE, PLANNING, ENGINEERING  
 18 Oak Forest Road / Suite C / Beaufort, SC 29910 / OHS 915-815-2021 / Fax 915-815-2022  
**KRA INC.**  
 ENGINEERING CONSULTANT  
 SOUTH CAROLINA REGISTERED PE  
 (803) 841-4888  
 THOMAS B STREET



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/15/07
2	ISSUED FOR CONSTRUCTION	10/15/07
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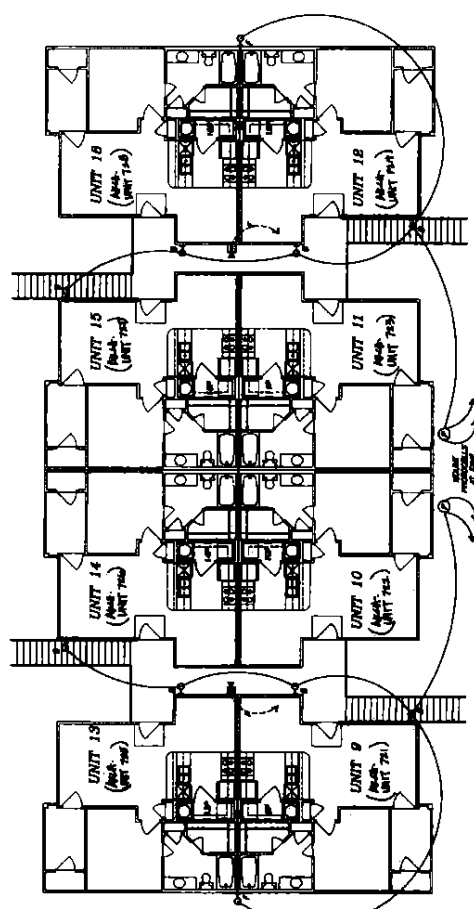
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF KRA INC. AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF KRA INC. ANY UNAUTHORIZED REPRODUCTION OR COPIING IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.



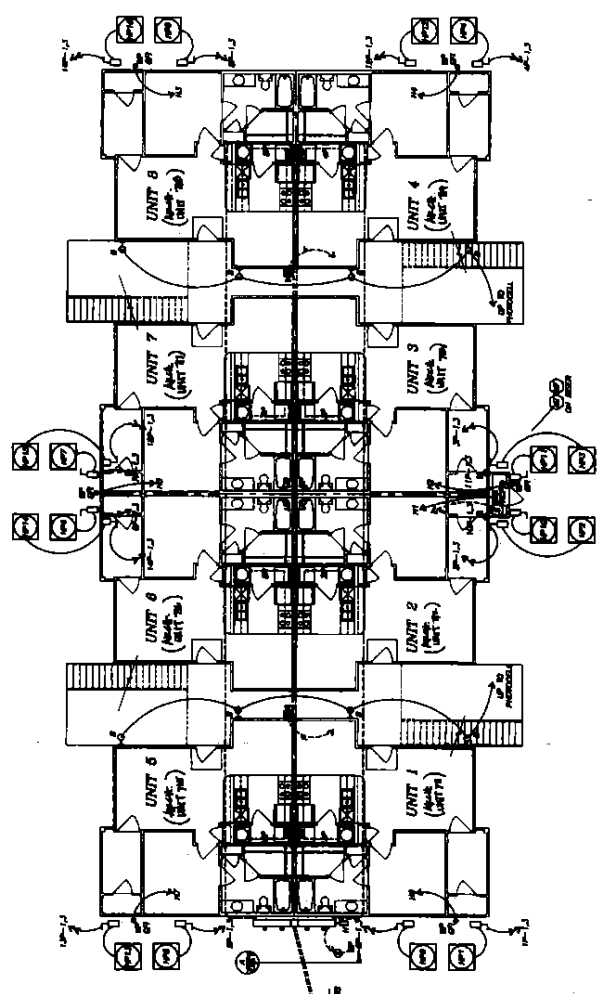
**KRA INC.**  
 ARCHITECTURE, PLANNING AND ENGINEERING  
 11 Oak Point Road, Suite 20910  
 Suite Towne Village  
 Raleigh, NC 27615  
 Tel: 919/851-5221 Fax: 919/851-5222  
 E-Mail: info@kra.com

**The Legends**  
 Hilton Head Island, SC 29926

**ELECTRICAL PLAN**  
**E-1.0**



**BLDG TYPE II SECOND FLOOR ELECTRICAL PLAN**  
 DATE: 07.17.17



**BLDG TYPE II FIRST FLOOR ELECTRICAL PLAN**  
 DATE: 07.17.17

**APPROVED FOR CONSTRUCTION**

Legend: Project: 1811 Legend: In the Green/High Rise Legend: No. 171728 2/13/17






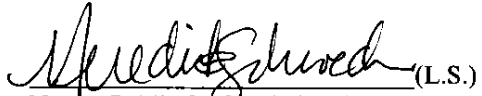
**EXHIBIT "C"  
TO MASTER DEED**

**ARCHITECT'S CERTIFICATE**

The undersigned certifies that to the best of the undersigned's knowledge Phase 2 of The Legends Horizontal Property Regime was completed substantially in accordance with the floor plans and elevation drawings referenced in this Master Deed as Exhibit "B".

  
\_\_\_\_\_  
Michael Kronimus, AIA, NCARB  
S.C. Registration #6368

Certified to this 16<sup>th</sup> day  
of May, 2007.

  
\_\_\_\_\_  
Notary Public for South Carolina  
My Commission Expires: 1/24/2015

**EXHIBIT "D"**  
**AMENDMENT TO MASTER DEED**  
**THE LEGENDS HORIZONTAL PROPERTY REGIME**  
**PERCENTAGE OF UNDIVIDED INTEREST IN THE COMMON ELEMENTS**  
**AND VALUE FOR SOUTH CAROLINA STATUTORY PURPOSES**

For purposes of the South Carolina Horizontal Property Act and pursuant to the terms of the Master Deed, the percentage interest appurtenant to each Villa of the Regime shall be established in accordance with the following formula:

$$\frac{V}{A} = P$$

- “P” - Percentage Interest of each Villa.
- “V” - Valuation of the respective Villas as set forth in this Exhibit “E”.
- “A” - Aggregate Valuation of all Villas existing in the Regime.

**THE REGIME** shall have the statutory valuation set forth below, and the statutory percentages for all Villas and Co-Owners shall be as set forth below:

<u>Villa No.</u>	<u>Statutory Value</u>	<u>Percentage</u>
112 Union Cemetery Road, Villa 112	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 113	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 115	\$133,706.55	.6065%
112 Union Cemetery Road, Villa 116	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 117	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 121	\$133,706.55	.6065%
112 Union Cemetery Road, Villa 122	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 123	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 124	\$133,706.55	.6065%
112 Union Cemetery Road, Villa 125	\$133,706.55	.6065%
112 Union Cemetery Road, Villa 126	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 127	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 128	\$133,706.55	.6065%
112 Union Cemetery Road, Villa 211	\$196,293.45	.8903%
112 Union Cemetery Road, Villa 212	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 213	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 214	\$196,293.45	.8903%
112 Union Cemetery Road, Villa 215	\$196,293.45	.8903%
112 Union Cemetery Road, Villa 216	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 217	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 218	\$196,293.45	.8903%
112 Union Cemetery Road, Villa 221	\$196,293.45	.8903%
112 Union Cemetery Road, Villa 222	\$158,741.31	.7200%

112 Union Cemetery Road, Villa 223	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 224	\$196,293.45	.8903%
112 Union Cemetery Road, Villa 225	\$196,293.45	.8903%
112 Union Cemetery Road, Villa 226	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 227	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 228	\$196,293.45	.8903%
112 Union Cemetery Road, Villa 312	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 313	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 316	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 317	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 321	\$133,706.55	.6065%
112 Union Cemetery Road, Villa 322	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 323	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 324	\$133,706.55	.6065%
112 Union Cemetery Road, Villa 325	\$133,706.55	.6065%
112 Union Cemetery Road, Villa 326	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 327	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 328	\$133,706.55	.6065%
112 Union Cemetery Road, Villa 411	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 412	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 413	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 414	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 415	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 416	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 417	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 418	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 421	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 422	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 423	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 424	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 425	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 426	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 427	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 428	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 511	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 512	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 513	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 514	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 515	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 516	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 517	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 518	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 521	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 522	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 523	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 524	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 525	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 526	\$110,000.00	.4989%
112 Union Cemetery Road, Villa 527	\$110,000.00	.4989%

112 Union Cemetery Road, Villa 528	\$166,730.70	.7562%
112 Union Cemetery Road, Villa 611	\$122,517.38	.5557%
112 Union Cemetery Road, Villa 612	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 613	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 614	\$122,517.38	.5557%
112 Union Cemetery Road, Villa 615	\$122,517.38	.5557%
112 Union Cemetery Road, Villa 616	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 617	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 618	\$122,517.38	.5557%
112 Union Cemetery Road, Villa 621	\$122,517.38	.5557%
112 Union Cemetery Road, Villa 622	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 623	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 624	\$122,517.38	.5557%
112 Union Cemetery Road, Villa 625	\$122,517.38	.5557%
112 Union Cemetery Road, Villa 626	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 627	\$158,741.31	.7200%
112 Union Cemetery Road, Villa 628	\$122,517.38	.5557%
115 Union Cemetery Road, Villa 3111	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3112	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3113	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3114	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3115	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3116	\$225,353.09	1.0221%
115 Union Cemetery Road, Villa 3121	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3122	\$229,015.73	1.0387%
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115 Union Cemetery Road, Villa 3125	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3126	\$225,353.09	1.0221%
115 Union Cemetery Road, Villa 3211	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3212	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3213	\$229,015.73	1.0387%
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115 Union Cemetery Road, Villa 3221	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3222	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3223	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3224	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3225	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3226	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3311	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3312	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3313	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3321	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3322	\$229,015.73	1.0387%
115 Union Cemetery Road, Villa 3323	\$229,015.73	1.0387%
112 Union Cemetery Road, Villa 711	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 712	\$179,165.00	.5451%

112 Union Cemetery Road, Villa 713	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 714	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 715	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 716	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 717	\$179,165.00	.5451%
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112 Union Cemetery Road, Villa 721	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 722	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 723	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 724	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 725	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 726	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 727	\$179,165.00	.5451%
112 Union Cemetery Road, Villa 728	\$179,165.00	.5451%
<b>Total</b>	<b>\$22,047,281.01</b>	<b>100%</b>

**TOTAL VALUE.** The total statutory value of the Regime is \$22,047,281.01. THESE VALUATIONS ARE ONLY FOR THE PURPOSES OF THE SOUTH CAROLINA HORIZONTAL PROPERTY ACT.